

CITY OF ENUMCLAW DESIGN MANUAL

COMMUNITY DEVELOPMENT DEPARTMENT
1309 MYRTLE AVENUE, ENUMCAW, WASHINGTON 98022
(360) 825-3593 - FAX (360) 825-7232



*Companion Document to
Enumclaw Municipal Code Title 19 Section 12*

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2. Proposed outline for fully developed Design Manual.

INTRODUCTION TO THE DESIGN STANDARDS PROJECT

The goal of the Design Standards Project is to develop a new set of municipal design regulations and a companion design manual to replace the current Enumclaw Municipal Code Title 19 Section 12 (Design Standards). It is anticipated that a new set of Design Standards will be developed and approved by the end of the year 2000. This comprehensive effort will require heavy public involvement, and will likely include changes to related code elements currently contained within other sections of the Municipal Code (such as EMC 19.08 and EMC 19.14).

As a first step in changing the Design Standards, staff and the Design Review Board have worked to enhance and reorganize that section of the code related to Building Design and Architecture. As an outcome of this effort, EMC 19.12.060 has been thoroughly revised, and a companion Design Manual developed to support and illustrate the revised code sections. The Design Manual will be expanded as each section of the Design Code is, in turn, revised.

The Design Manual is intended for use by both prospective developers and the Design Review Board. The hope is that better Design guidelines will streamline the Design Review process, and result in higher quality building projects within the City of Enumclaw. Both the Design Manual and Design Code will be available at the Community Development Department office at 1309 Myrtle Avenue, Enumclaw, WA, (360) 825-3593.

BUILDING DESIGN STANDARDS for Commercial and Multifamily Buildings in all zones except LI

Overall Design

Creative, high quality architectural design which reflects Enumclaw's historical character is to be encouraged.

A. Creative, high quality design is encouraged! Architectural design is not restricted. Evaluation of a project shall be based on the quality of its design, relationship to its surroundings, and relationship to the community.



Prominent Facades

Prominent facades include all building facades visible from activity centers, public areas and roadways. Prominent facades may not be sterile wall planes void of architectural interest. They shall be detailed with added relief, shadow lines, and visual depth unless screened with landscaping. Special consideration shall be given to facades which currently have vacant buildable lots adjacent to them, as these facades may be screened by a building in the future.

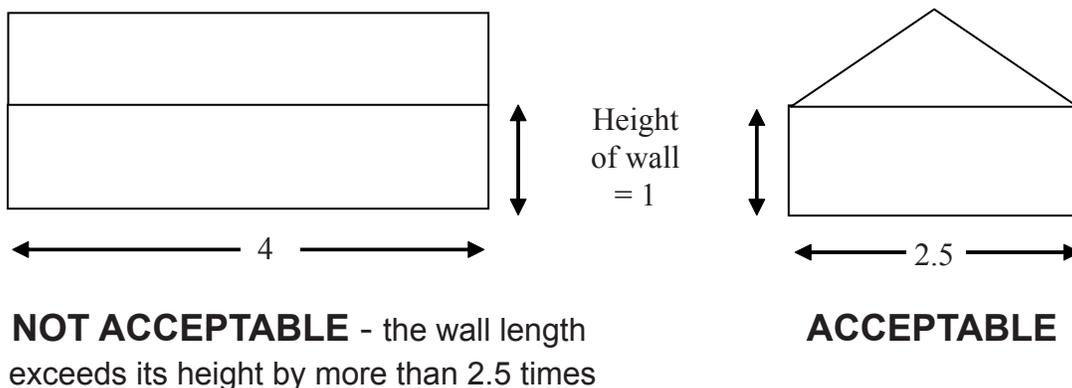
B. The emphasis should be on prominent facades. Prominent facades, whether the front, side or rear of the building, should comply with all design criteria stated herein.

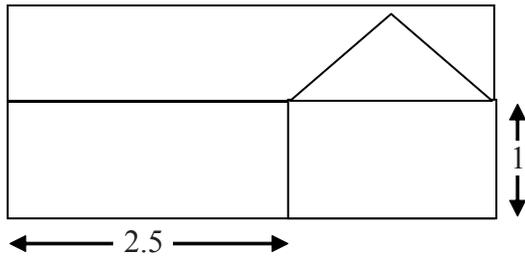
Building Scale and Mass

One of the most prominent characteristics of a building's design is its scale and massing. The scale of a building determines its size in relation to surrounding buildings; the massing of a building gives it interest and character. Modern building trends emphasize large-scale designs with no thought toward massing. This imbalance between size and visual character has resulted in visually obtrusive development which is out of character with surrounding structures of a smaller scale. Large retail boxes epitomize this trend and are considered incompatible with Enumclaw's small town characteristics. **Projects in the CB1 and CB2 zones (downtown area) will receive special consideration in regards to regulations 19.12.060 C and D below.**

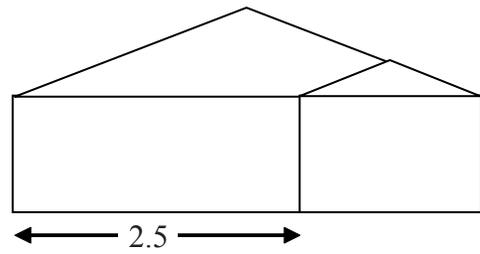
C. Avoid long, unbroken wall planes. Prominent facades should have no unbroken wall plane longer than 2.5 times the height of the wall plane.

(The *height of the wall plane* is defined as the difference between the average finished grade (of that side of the building) and the wall plate.)





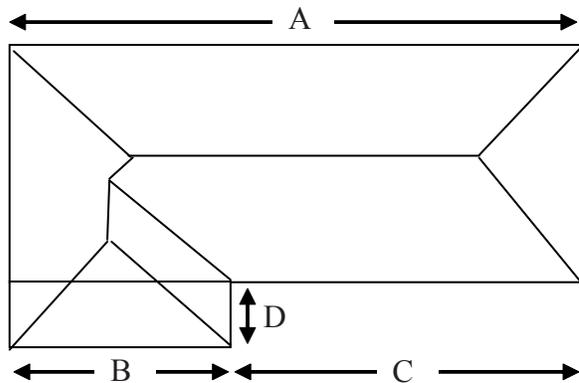
ACCEPTABLE



ACCEPTABLE – but, the hip-to-gable configuration on the left is more desirable

D. Provide substantial shifts in walls and roof surfaces. Wall and roof surfaces shall be broken down into smaller planes using effective vertical features (which may include columns), or by using substantial shifts in building footprints which result in substantial shifts in roof lines as follows:

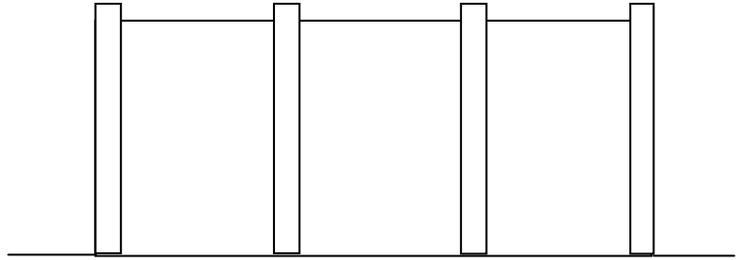
1. Horizontal shift - No portion of a prominent facade should exceed 80 feet in length without a shift in the building footprint measuring 1/10 of the facade length. This shift may be broken down into smaller shifts of at least 6 feet each. Horizontal shifts, when required, shall be reflected by a shift or alteration in the roof design. To assure that footprint shifts are evenly distributed across the building facade, shifted wall planes should have a width proportion of between 1-to-1 and 3-to-1 the width of adjacent wall planes on the same facade.



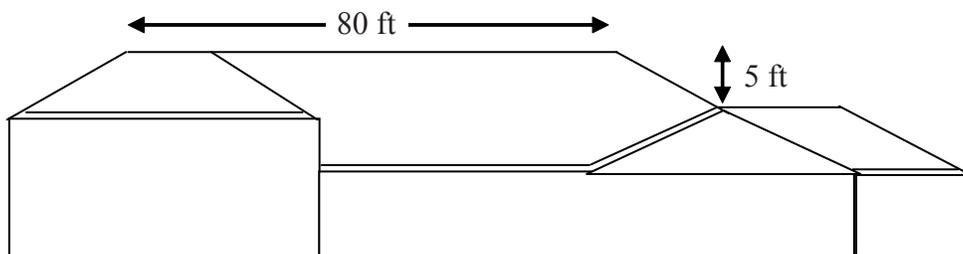
Horizontal shifts are required if A exceeds 80' in length, in which case:

- B may not exceed 3 times C
- C may not exceed 3 times B
- D must be at least 1/10 of A

Columns or other **effective** vertical design features may be used to provide wall and roof shifts.



2. Vertical shift - No single run of ridge, cornice, fascia or parapet should exceed 80 feet without a 5 foot transition in height.



E. Provide visual terminus to tops of buildings. All structures must have a visual “cap” in order to prevent a truncated look at the top of the building. This may include either a pitched roof or a flat roof. Pitched roofs shall have the appearance of true hips and gables with a defined ridge where opposing roof planes meet. Roof designs must conform to one of the following options:

1. Lower pitched roofs with extended eaves – A lower pitch roof with a minimum 4/12 pitch is allowed provided eaves extend at least 2 feet beyond exterior building walls.

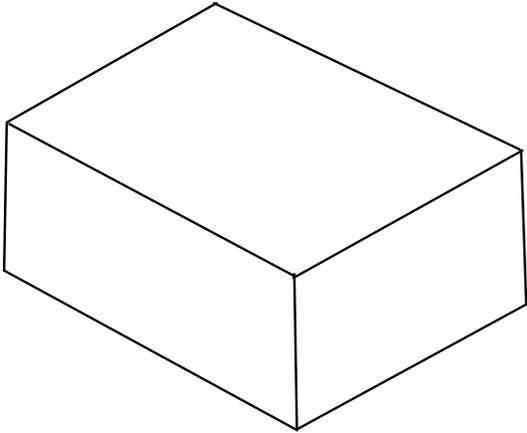
2. Steep pitch hip or gable roof form – maximum pitch of 12/12 except for bell towers

3. False pitch roof with appearance of true hip or gable – Single story and multiple story buildings may have a flat roof with a false pitch if:

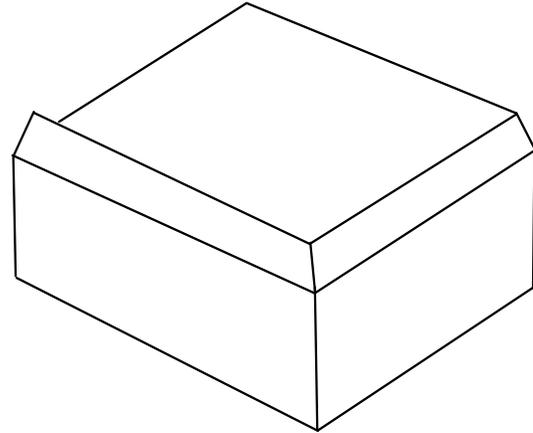
(a) the roof appears to be a true hip or gable from all public vantage points, and

(b) there are extending wings on each corner of the building which allow for a true hip or gable to extend out from the false hip or gable (this will avoid a mansard roof appearance). Roofs shall conform to the minimum roof pitch standards stipulated in (1) above.

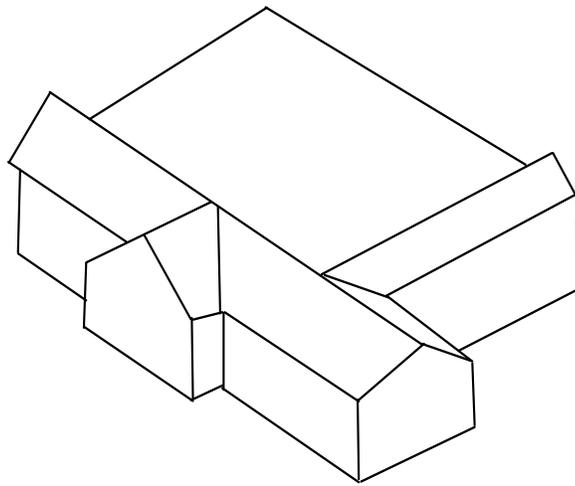
E.3 - Flat roofs with false pitches



NOT ACCEPTABLE – a simple box-like structure

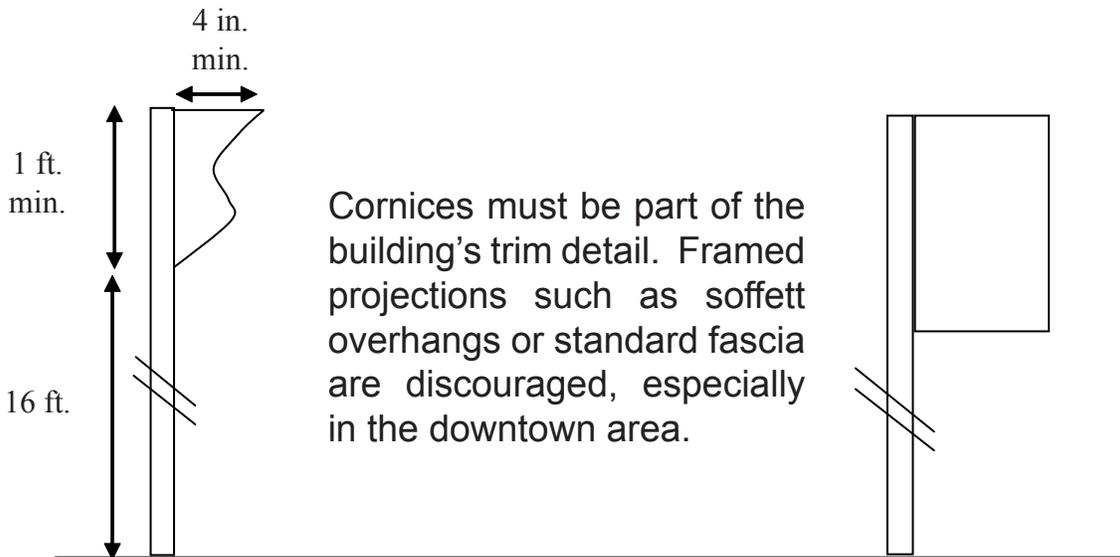


DISCOURAGED – the box-like structure with simulated mansard



ENCOURAGED! – notice how the gable extending beyond the corner of this box structure provides the appearance of a true gable from the public's vantage

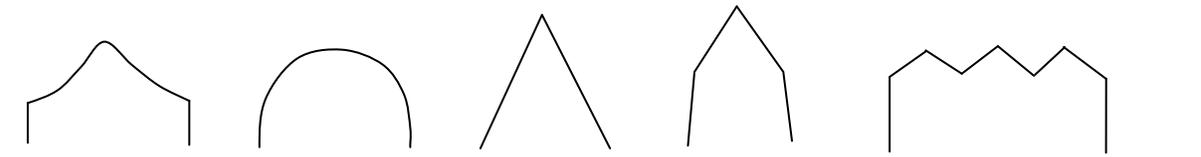
4. Flat roof with projecting cornice. – Cornice dimensions must be a minimum of 1 foot high, proportional to the building height and trims, and must protrude forward at least 1/3 the cornice height dimension. The protrusion may include the entire cornice or the cornice may be a graduated protrusion with full protrusion at the top. Cornices must be at or near the top of the wall or parapet. Pediments may extend above the cornice. Exceptions may be granted by special approval of the Design Review Board when it can be demonstrated that the design is integral to a style or historic character.



ACCEPTABLE – flat roof with projecting cornice

DISCOURAGED DOWNTOWN– soffitt overhang. Awnings should be used instead.

F. Avoid unusual or atypical roof forms on all structures. A-frame, modified A-frame, curvilinear, domed, mansard style and saw-tooth gables are discouraged and need special approval of the Design Review Board.

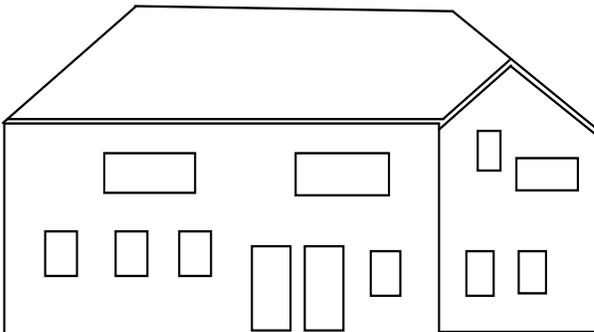


DISCOURAGED ROOF FORMS – need special approval by the Design Review Board.

Windows and Doors

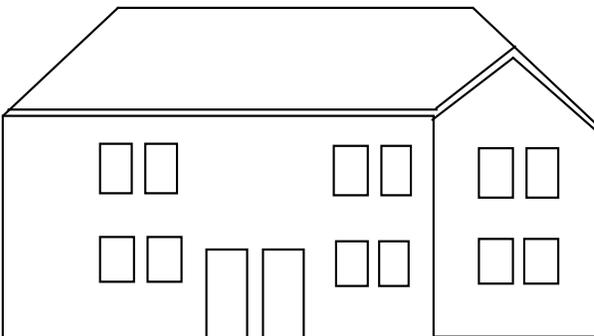
The primary purpose of windows to the interior portion of a building is to let in light and air. To the outside of a building, windows can make an architectural statement. The challenge to the architect is to make sure that both objectives are met. Windows placed primarily to serve interior functions may appear to have been haphazardly placed on the outside of the building or may be completely lacking due to a reliance on mechanical systems for light and air. This shall be avoided. Windows can and should serve as a pleasing focal point in a building's design or emphasize a shift in a wall or roof plane. Windows should relate to, align with, or complement exterior design features of the building.

G. Maintain balance in the placement of windows. To the extent possible, multiple windows on a single wall plane should be regularly spaced and aligned with other windows and doors on the same wall plane. Single or grouped windows on a wall plane should relate to other architectural features such as roof forms, doors, or façade projections.



NOT ACCEPTABLE

The scattered and haphazard arrangement of windows on this façade result in poor balance in the overall building design.



ACCEPTABLE

The careful alignment of windows provides visual balance to this façade.

Notice that it is not always necessary to center windows on a wall plane. Usually, however, non-centered windows look better below a hip than below a gable.

H. Conform to solid/void ratio requirements. Windows and doors shall constitute a minimum of 25-30 percent of prominent facade wall planes. In cases where this is absolutely not practical, an exception shall be made if one or more of the following options are utilized and approved by the Design Review Board:

1. Vertical and/or horizontal shifts in the facade combined with roof forms which accentuate facade variations.
2. Variations in texture.
3. Variations in exterior lighting.

I. Reflective and colored glass is discouraged. The use of reflective or colored glass shall generally not be allowed but may be considered by the Design Review Board in limited applications.

Siding and Trim

Traditional building materials such as brick, stone or wood reflect human handicraft and provide texture to building exteriors. Materials for new construction and remodeling should convey similar visual qualities.

J. Use materials which assimilate traditional building materials. Traditional building materials such as brick, stone or wood are to be encouraged for siding and trim. Finish materials must individually be characterized by texture, grain, or color variation. Individual components shall be small enough so that their collective application provides interest and texture to building facades and reflects human handicraft. Non-traditional materials shall be used sparingly unless they can be shown to have similar visual qualities of traditional materials or contribute to overall, high quality design character. The following materials are discouraged, and can be utilized only if special approval is granted by the Design Review Board:

1. Corrugated metal panels
2. Sheet siding (e.g., T1-11, ACM)
3. Concrete panels

Miscellaneous Architectural Devices

Building design should be executed in a straight forward manner. Tack-on devices may not be used to mitigate poor design or to promote a particular theme. If a particular style or theme is desired, it should be reflected in the building's form and general detailing.

Publicly displayed art is to be encouraged, but must be reviewed and approved by the Design Review Board. The Design Review Board shall consider the artwork's compatibility with the building, site and neighboring properties.

K. Architectural gimmicks and fads should be avoided. These include but are not limited to:

1. Tenant-specific motifs – Fanciful or unusual detailing used to promote a particular theme or to identify a specific tenant shall be avoided. Signage should be used for this purpose.

2. Neon lighting – Architectural features should not be outlined in neon or tube-type lights. This includes exposed and concealed lights.

3. Back-lit awnings – Awnings should not be back-lit or otherwise illuminated from behind unless the awning fabric is completely opaque so that it blacks out all light.

4. Non-functional awnings – Awnings should be limited to traditional locations over windows, walkways, and entrances or over other architectural features where weather protection is needed. Awnings should be applied to walls or posts and may not be applied to existing projections over walkways or windows.

L. Maintain consistency in awning design. Inconsistent multiple awning designs are not permitted on a single building.

M. Avoid awnings which obscure or dominate the building design. Awnings, canopies and marquees may not obscure architectural details of the façade and may not be the prominent design element of the building. They must appear as a secondary and complimentary element of the building design. Awnings must be appropriate for the architectural style of the building and consideration given to the awning styling of neighboring buildings.

Roofing Materials

Views of roofs from the ground and other vantage points play an important role in the architecture of the city. Roofing materials shall be selected according to the following criteria.

N. Roof materials on visible roofs should provide texture and shadow lines; bright-colored or reflective roofing is to be avoided. The following materials are discouraged and must be approved by the Design Review Board:

1. Gravel.
2. Untreated aluminum or metal (copper may be used).
3. Reflective materials (including aluminized hot-mopped roofs, white or light grey metals which have a metallic appearance in bright sun).
4. Brightly colored, highly visible roofing materials.

Color

Color is an important and dominant aspect of building design. When selecting colors, consider carefully the different materials and levels of detail that color can emphasize. The field or base color is one of the most dominating features of the building; trim colors are used on the building's secondary features, while accent colors can emphasize the finer, more characteristic elements of the building's design. Typically, no more than three colors should be used on one building, but additional colors may be considered if they are a close shade of one of the other three colors.

O. The building color scheme must adhere to the following unless granted special approval by the Design Review Board:

1. No more than three distinct colors may be used. Multiple shades of colors are allowed.
2. Keep field colors subdued – Field or base colors (the main color of the exterior wall) should be limited to the more subtle earth-tone colors. White, soft sands, grays, light pastels, and deep rich clay colors are appropriate field colors.

3. Avoid bold or bright trim colors - Trim colors (fascia, cornice, window and door trim, kick panels, etc) may contrast or compliment the field color but should not be bright or bold. Using a lighter or darker shade of the field color is always an appropriate trim color as is white. When using a contrasting trim color, bright or primary colors should be avoided.

4. Finer details may be accented with brighter colors – Accent colors can generally be brighter than field or trim colors. Accent colors should be used with restraint. Appropriate areas for accent colors are those details that might otherwise go unnoticed such as moldings or molding indentations, medallions, and shadow lines of window and door frames. Doors are also an appropriate location for accent colors.

P. Contrasting color shall not be used to provide unusual graphic design to the building exterior.

APPENDIX 3: Chapter 19.12 Design Regulations

Sections:

- 19.12.010 Purpose.
- 19.12.020 Exemptions.
- 19.12.030 Relationship of building to site.
- 19.12.040 Relationship of building and site to adjoining area.
- 19.12.050 Landscape and site treatment.
- 19.12.060 Building design standards.
- 19.12.065 Pedestrian orientation.
- 19.12.070 Repealed.
- 19.12.080 Miscellaneous structures and street furniture.

19.12.010 Purpose.

See EMC 2.29.010. (Ord. 1960 § 3, 1998).

19.12.020 Exemptions.

These design regulations apply to all property improvements except the following, which will not materially affect implementation of the comprehensive plan's design goals, and are therefore exempt.

A. Development permits not immediately associated with any physical improvements, such as short plats or rezones unaccompanied by any building permit application;

B. Single-family residences, duplexes, and accessory uses. Both new construction and modifications/additions are exempt;

C. Construction activities which do not require a building permit (example: the repainting of buildings), sign permit (example: change in copy of existing signs), or any other permit from the building official;

D. Modifications to existing structures which will not be visible from outside the structure;

E. Modifications or additions to existing multifamily, commercial, industrial, office, and public properties when the modification or addition:

1. Constitutes less than 10 percent of the existing horizontal square footage of the use or structure, and
2. Constitutes less than 10 percent of the existing building's exterior facade, and
3. Is estimated to cost under \$5,000;

F. New signs under 10 square feet in size, for which the administrator deems design review unnecessary;

G. Signs to which Chapter 19.10 EMC does not apply, per EMC 19.10.040. (Ord. 1960 § 3, 1998).

19.12.030 Relationship of building to site.

A. The site shall be planned to accomplish a desirable transition with the streetscape and to provide for adequate planting and pedestrian movement.

B. Parking and service areas shall be located, designed and screened to be obscured from public view consistent with the nature of the improvement and topographical considerations.

C. The height and scale of each building shall be compatible with its site and adjoining buildings. (Ord. 1960 § 3, 1998).

19.12.040 Relationship of building and site to adjoining area.

- A. Buildings and structures shall be made compatible with adjacent buildings of conflicting architectural styles by such means as screens, site breaks and materials.
- B. Harmony in texture, lines and masses shall be encouraged.
- C. Attractive landscape transition to adjoining properties shall be provided.
- D. Public and quasi-public buildings and structures shall be consistent with the established neighborhood character. (Ord. 1960 § 3, 1998).

19.12.050 Landscape and site treatment.

- A. Where existing topographic patterns contribute to beauty and utility of a development, they shall be preserved and developed.
- B. Grades of walks, parking spaces, terraces and other paved areas shall provide an inviting and stable appearance.
- C. Landscape treatment shall be provided to enhance architectural features, strengthen vistas and important axes and provide shade.
- D. In locations where plants will be susceptible to injury by pedestrian or motor traffic, they shall be protected by appropriate curbs, tree guards or other devices.
- E. Where building sites limit planting, the placement of trees or shrubs in parkways or paved areas is encouraged.
- F. Screening of service yards and other places which tend to be unsightly shall be accomplished by use of walls, fencing, planting, or combinations of these. Screening shall be effective in winter and summer.
- G. In areas where general planting will not prosper, other materials such as fences, walls and pavings of wood, brick, stone, gravel, etc., shall be used.
- H. Exterior lighting, when used, shall be part of the architectural concept. Lighting shall enhance the building design and the adjoining landscaping. Lighting standards, fixtures and all exposed accessories shall be of a design and size compatible with the building and adjacent areas. Lighting shall be shielded and restrained in design. Excessive brightness and brilliant colors shall be avoided.
- I. Design attention shall be given to mechanical equipment or other utility hardware on roof, ground or buildings so as to screen to view. (Ord. 2068 § 1, 2000; Ord. 1960 § 3, 1998).

19.12.060 Building design standards.

These design standards apply to all property improvements except for those listed in EMC 19.12.020 and the light industrial (LI) zoning district. These standards are supplemented and further defined or explained by that document titled "City of Enumclaw Design Manual." A copy of the manual shall be available from the community development department.

- A. Architectural style is not restricted; evaluation of a project shall be based on quality of its design, relationship to surroundings, and relationship to the community.
- B. The emphasis is on prominent facades, whether the front, side or rear of the building. Prominent facades should comply with all design criteria stated herein.
- C. Prominent facades should have no unbroken wall plane wider than 2.5 times the height of the wall plane. Special consideration will be given to projects in the CB1 and CB2 zones.

D. Wall and roof surfaces shall be broken down into smaller planes using effective vertical features (which may include columns), or by using substantial shifts in building footprints which result in substantial shifts in roof lines as follows:

1. Horizontal Shift. No portion of a prominent facade should exceed 80 feet in length without a shift in the building footprint measuring one-tenth of the facade length. This shift may be broken down into smaller shifts of at least six feet each. Horizontal shifts, when required, shall be reflected by a shift or alteration in the roof design. To assure that footprint shifts are evenly distributed across the building facade, shifted wall planes should have a width proportion of between 1/1 and 3/1 to the width of the adjacent wall planes on the same facade.

2. Vertical Shift. No single run of ridge, cornice, fascia or parapet should exceed 80 feet without a five-foot transition in height.

Special consideration will be given to projects in the CB1 and CB2 zones.

E. All structures must have a visual “cap” in order to prevent a truncated look at the top of the building. This may include either a pitched roof or a flat roof. Roof designs must conform to one of the following options:

1. Lower pitched roofs with extends eaves (minimum pitch of 4/12).
2. Steep pitch hip or gable roof form (maximum pitch of 12/12 except for bell towers, steeples and other ancillary structures).
3. False pitch roof with appearance of true hip or gable.
4. Flat roof with projecting cornice.

F. Unusual or atypical roof forms such as A-frame, modified A-frame, curvilinear, domed, mansard style and saw-tooth gables are discouraged and require special approval of the design review board.

G. Window placement shall be balanced.

H. Windows and doors shall constitute a minimum of 25 to 30 percent of prominent facade wall planes. In cases where this is absolutely not practical, an exception shall be made if one or more of the following options are utilized and approved by the design review board:

1. Vertical and/or horizontal shifts in the facade combined with roof forms which accentuate facade variations.
2. Variations in texture.
3. Variations in exterior lighting.

I. The use of reflective or colored glass shall generally not be allowed but may be considered by the design review board in limited applications.

J. Traditional building materials such as brick, stone or wood are to be encouraged for siding and trim. The following materials are discouraged, and require special approval by the design review board:

1. Corrugated metal panels.
2. Sheet siding (e.g., T1-11, ACM).
3. Concrete panels.

K. Architectural gimmicks and fads should be avoided. These include, but are not limited to:

1. Tenant-specific motifs.
2. Neon outlining.
3. Back-lit awnings.
4. Nonfunctional awnings.

L. Inconsistent multiple awning designs are not permitted on a single building.

M. Awnings, canopies and marquees may not obscure architectural details of the facade and may not be the prominent design element of the building. They must appear as a secondary and complementary element of the building design. Awnings must be appropriate for the architectural style of the building, and consideration given to the awning styling of neighboring buildings.

N. Roof materials on visible roofs should provide texture and shadow lines; bright-colored or reflective roofing is to be avoided. The following materials are discouraged and must be approved by the design review board:

1. Gravel.
2. Untreated aluminum or metal (copper may be used).
3. Reflective materials (including aluminized hot-mopped roofs, white or light gray metals which have a metallic appearance in bright sun).
4. Brightly colored, highly visible roofing materials.

O. The building color scheme must adhere to the following, unless granted special approval by the design review board:

1. No more than three distinct colors may be used.
2. The base (or field) color should be subdued.
3. Bold or bright trim colors should be avoided.
4. Finer details may be accented with brighter colors.

P. Contrasting color shall not be used to provide unusual graphic design to the building exterior. (Ord. 2068 § 2, 2000; Ord. 2066 § 1, 2000; Ord. 1960 § 3, 1998).

19.12.065 Pedestrian orientation.

A. Building sites shall be designed to be safe for pedestrians. This is typically achieved by:

1. Separating pedestrians from automobile traffic, either horizontally or via curbs and similar grade separations;
2. Outdoor lighting where appropriate; and
3. Avoiding obstacles that might cause pedestrians to trip or fall.

B. Building sites shall be designed to be convenient for pedestrians. This is typically achieved by incorporating direct, smooth-flowing walkways between internal activity areas. (Ord. 2003 § 3, 1999).

19.12.070 Signs.

Repealed by Ord. 2206. (Ord. 2068 § 3, 2000; Ord. 1960 § 3, 1998).

19.12.080 Miscellaneous structures and street furniture.

A. Miscellaneous structures and street furniture located on private property, public ways and other public property shall be designed to be part of the architectural concept of design and landscape. Materials shall be compatible with buildings, scale shall be appropriate, colors shall be in harmony with buildings and surroundings and proportions shall be to scale.

B. Lighting in connection with miscellaneous structures and street furniture shall meet the criteria applicable to site, landscape, buildings and signs. (Ord. 1960 § 3, 1998).

APPENDIX 4: Proposed table of contents for fully developed manual

INTRODUCTION

- Applicability
- Design Review Options
- Design Review Application Requirements

CONNECTIONS (or other similar section addressing gateways, etc.)

- Activity Centers
- Parkways (Rt. 410, Porter, Griffin)
- Gateways, etc.

SITE DESIGN

- Overall Site Design
- Landscaping
- Parking
- Pedestrian Access
- Outdoor Common Areas
- Lighting
- Signs

BUILDING DESIGN STANDARDS (for commercial and multifamily buildings in all zones except LI) -

- Overall Design (A)
- Prominent Facades (B)
- Building Scale and Mass (C,D,E,F)
- Windows and Doors (G,H,I)
- Siding and Trim (J)
- Miscellaneous Architectural Devices (K,L,M)
- Roofing Materials (N)
- Color (O,P)

SPECIAL BUILDING DESIGN REGULATIONS

- Light Industrial Zone –
- Single Family Housing
- Historical District

GLOSSARY, APPENDICES, INDEX